

# Architectural & Design Guidelines Phase 1

## Single Family Attached Garage and Estate

Revised July 2017

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## **1.0 ARCHITECTURAL STYLES**

The Architectural Styles will be Craftsman, Heritage, Prairie, Colonial, Georgian, Tudor, French and Victorian.

### **Craftsman Style Requirements**

#### Overall Building Massing:

The Craftsman, or Arts and Crafts, style includes bungalows, 1 ½ storey designs with low pitched roofs. Roof overhangs are 1'6" minimum and 2'0" preferred. Verandas are integral and dormers emphasize the styling.

#### Roof Styles:

Permitted roof styles include cottage and gable roofs either side or front to back combinations. Roof pitches are 5/12 or greater than 8/12 with front facing inset gables.

#### Window Styles and Placement:

Windows have a vertical orientation: double hung or divided panes with grills in the upper sash while the lower sash is plain. Window surrounds are simple. Windows should be ganged in pairs at minimum.

#### Stone or Brick Profiles:

Brick, ledge stone and river rock are permitted and should be used on this style. Stone and brick may be applied at fireplace chases, columns, verandas and garages. Application in panel effect is discouraged. Stone tile is not acceptable finish for this style.

#### Exterior Cladding:

Craftsman style homes may be finished in smooth stucco, brick siding or shakes. More than one dominant finish is used on each elevation, applied horizontally and separated by a wide trim board. Trims are generally painted, stained or metal clad. Stucco clad trims may not be suited.

#### Colours:

Colours suited to the Craftsman style include deep earth tones accented by heavy white trims. Colours may also be tone on tone.

#### Defining Details and Entrance Treatment:

Partial and full width verandas are a major element of the Craftsman style. Verandas often have a gable roof consistent in pitch and detailing with the main roof, and typically supported by massive tapered columns. The columns may be full height or half height resting on the veranda deck or extending from roof to ground. The base will be later than the post and likely tapered in stone, shakes or a painted finish. Dormers and inset gables are finished in shakes, exposed beams or angle braces. Entry doors are simple in styling and include small glass panes.

## **Heritage Style Requirements**

### Overall Building Massing:

All model types are included with an emphasis on grounded proportions where the eye is drawn to the street level. Roof slopes are moderate to high at 7/12 or greater. Roof overhangs are minimum 1' 6" at moderate pitch and minimum 12' at higher pitch.

### Roof Styles:

Permitted roof styles include hip or side to side and front to back gable. Front facing gables are clad in siding or shakes and are defined by shadow bands at the eaves.

### Window Styles and Placement:

Windows have a vertical orientation and may include rectangular or elliptical transoms. Grills are installed in the entire pane or upper third. Heavy wood surrounds frame on all openings.

### Stone or Brick Profiles:

Stone and brick are applied in a panel effect or as a substantial accent. When applied as an accent, the top edge is finished with a soldier course or heavy step trim.

### Exterior Cladding:

May be finished in smooth stucco, brick siding or shakes. A combination of finished is commonly used. Trim and surrounds on stucco clad models are painted and not stucco clad. All siding profiles must be lap board style. Cover profiles will not be permitted. Hardi Plank siding is preferred.

### Colours:

Colours suited to the Heritage style include deep earth tones accented by heavy white trims. White and light cladding colours are not suitable.

### Defining Details and Entrance Treatment:

Entrances are covered at a level that encloses and protects the space, at the first level or at a proportionate height. They style, width and detailing of the entranceway creates a sense of arrival. Verandas are common. Columns are solid and substantial with wide base or step detail top and bottom.

Glass lights in traditional styling are commonly included at the overhead door. Entry doors are simple and often include square glass panes. Style definition borrows heavily from the Craftsman style with shakes, shutters and gable braces.

## **Prairie Style Requirements**

### Overall Building Massing:

Two storey or bungalow style will be permitted. The footprint is often L shaped. Roof slopes are to be low. 5/12 or less with wide overhangs and deep fascia's.

### Roof Styles:

Characterized by a simple hip or side gable roof.

### Window Styles and Placement:

Windows are large, organized and consistent in shape, often incorporating transoms. Windows are uncluttered by omission of grid patterns.

### Stone or Brick Profiles:

Brick is the most desired material for this style. Ledge stone is permitted. Both brick and stone are applied in panel effect. Brick is smooth, often applied with a rock face soldier course to emphasize the horizontal. In the Estate series, a full brick front is required in consideration of vinyl siding at sides and rear.

### Exterior Cladding:

Prairie style homes by be finished in smooth stucco or flat brick, often outlined with wood trim. Horizontal siding may also be used. Vinyl siding will not be permitted. Hardi Plank siding may be suitable.

### Colours:

Colours suited to the Prairie style are mid to dark earth tones with monochromatic or darker contrasting trims.

### Defining Details and Entrance Treatment:

Defining details are the horizontal presentation and simplified forms. The entry is typically recessed with side lights and is defined by approach. Entry doors are plain and may be oversized.

## **Colonial Style Requirements**

### Overall Building Massing:

The Colonial styles include 1 ½ storey, 2 storey and bungalow models designed with a simple rectangular footprint. Roof slopes are 7/12 or greater with eave overhangs of 12" to 18". Dormers and/or front facing gables clad in the same material as the walls add interest and reinforce the styling.

### Roof Styles:

Permitted roof styles include hip roof and gables sloping either side by side or front to back. Style is further defined by entrance treatment. Roof pitch is 7/12 or greater. Dormers and/or front facing gables are common.

### Window Styles and Placement:

Windows are aligned, symmetrically balanced and are strictly vertical in orientation. They may be ganged in pairs. Both top and bottom sash should have a grid pattern of 6 to 12 panes per sash.

### Stone or Brick Profiles

Brick or ledge stone are used in panel effect and, in addition, often adorn fireplace chases and chimneys. Full brick/stone fronts are encouraged in this style.

### Exterior Cladding

The colonial home is commonly clad in brick or horizontal siding. Decorative moldings are typically installed at the eave line for emphasis. Acrylic or smooth stucco maybe used in combination with brick, stone or shake finished.

### Colours

Colours suited to the Colonial style are light neutrals (white and cream) for siding with red or darker tones for brick exteriors. Colours must be contrasting in tone. Trim and window colours are usually white. A dark accent colour such as black, dark red or forest green is common.

### Defining Details and Entrance Treatment

Entrances may feature a full veranda, gable entry porch or pediment supported by pilasters. Shutters are characteristic of this style. Decorative moldings, gable trims and dormers reinforce this style.

## **Georgian Style Requirements**

### **General:**

The Georgian style represents a sense of formal, palatial living. The design was attractive and stately, dignified by its pleasant, symmetrical proportions.

### **Roofs:**

Georgian homes usually exhibited a high hop or gable roof, typically with arched dormers to emulate a 2 ½ storey look. Roof materials were generally black slate or black painted shingles. Some roofs, such as in the Federal style, displayed a flat centrally-positioned area commonly surrounded by an ornate railing called a balustrade.

### **Walls:**

Brick and wood were the main materials for exterior walls. In the case of brick, a belt course or change in the masonry pattern was often introduced where the first floor met the second, creating a band around the middle of the house. Most period homes featured quoins extending up to the eaves as an added design element. Small block-shaped dentils were incorporated into the cornice molding at the top of exterior walls.

### **Entranceways:**

Georgian entranceways, centrally located on the front façade, were often framed by pilasters – square columns partly built into and partly projecting from the wall. In more elaborate treatments, porticos featuring two or more free-standing pillars formed the entranceway while supporting a balcony or triangular-shaped portico with dentil detailing. During the Federal Period, arched brick entranceways were introduced as were circular and semi-circular windows above the entrance.

### **Doors:**

Fluted entrance doors were paneled and often accompanied by elegant side lights, pilasters and broken arch pediments. With the necessity to include garages in today's Georgian designs, garage doors reflect the paneled style and classic elements of traditional Georgian entrance doors.

### **Windows:**

Windows were double hung with multiple panels in each sash, held in place by rectangular mutin bars in grid patterns that are generally 6 over 9 over 12. Lintels above windows typically featured a keystone element or decorative crown molding while window sills were constructed of stone or brick. Shutters were introduced during the Federal Period as both a decorative and practical fixture. Similarly, Palladian windows and fan lights came to be incorporated into both window and entrance door treatments at this time.

### **Chimneys:**

As in the case of English Tudor designs, Georgian brick chimneys were tall, massive and decoratively accented as they were generally in view of the front façade.



## Tudor Style Requirements

### General:

Classic Tudor reflects an era of evolution, innovation and the melding of form with function. Its design elements – shaped by considerations of lifestyle, climate, available materials and building techniques in pre-industrial age England.

### Roofs:

Tudor homes typically have steep-pitched, side-gable roofs. Hipped-style roofs modified with gables were also used. In some cases, several small gables were incorporated in designs, such as dormers projecting through hipped roofs. Within these gables, vents were a distinctive architectural feature.

### Walls:

Using commonly available building materials, various combinations of stone, brick, stucco and timbers were and are prevalent traits of this style. Half timbers imbedded in stucco façade were most often used on the upper half of the house as a stylish exterior representation of the home's post and beam framework. In many cases, brick and stone were used on the lower half of the home, with particular attention paid to the archway over the entrance door. In addition, decorative corner quoins were frequently used in the brick work of the home's façade. Commonly, the upper floor would cantilever out over the lower level walls, thereby increasing useable floor space while keeping water run-off away from main level windows and brick in winter, providing shade in summer.

### Doors:

Entry doors were oversized planked wood, often doubled and frequently displaying glassed windows. Carriage house doors – the equivalent of today's garage doors – reflected the style of cross-timbered gables. In order to avoid an overwhelming perception of mass, multiple single garage doors are often specified in today's Tudor designs.

### Windows:

Several important considerations impacted on the design and use of window elements in the English Tudor style. The emerging use of glass enabled the replacement of cut openings covered by shutters on the outside and tapestries inside. Glass answered the need to bring light into the rooms while maintaining the heat from fireplaces in cold weather months. Operable glass windows enabled access to ventilation in warmer months, while cooking fires resulted in overly hot and stuffy interiors. Tudor era technology was unable to create large single pane windows. Moreover, overly large windows would serve to enhance heat loss in winter. The Tudor design answer to these factors was to feature compact bay windows and tall, thin casement windows grouped in threes or fours. These windows made use of a multitude of small, thick diamond-shaped panes which were leaded together.

### Chimneys:

In order to ensure proper updrafts from fireplaces throughout the Tudor home, the style made use of tall brick chimneys which were either incorporated into front facades or in clear view from the front of the home. Owing to their visibility and the fact that these chimneys often shared more than one flue, their design was both highly decorative and massive.

## **French Style Requirements**

### **General:**

The French influence on Home styles is similar to the Georgian contemporaries, displaying beautiful proportions and a fine formal balance.

### **Roofs:**

The French style, adapted to North America, is a stately design distinguished by its steep-pitch roofs and extended roof lines broken by numerous dormers to create a 1 ½ storey or a 2 ½ storey look. Turreted roof aspects are another common feature of French style. Arches, another important element of the French style home, were often used on dormers and to accentuate window tops, roof lines and vents.

### **Walls:**

French style homes usually 1 ½ to 2 ½ storeys high with brick, stone or stucco walls. Brick exteriors have long been a prominent part of French architecture. As in the case of their Georgian counterparts, French architects included stone or brick quoins in their designs to accentuate exterior corners. Similarly, they also specified dentils within cornice moldings at the top of the exterior walls.

### **Windows:**

Such was the affinity of French architecture for uplifting curvature that arched windows would often break through the roof line where the wall meets the eave. Generally, casement windows were the style of choice, whether arched or not. Often wrought iron accents were used on roof tops and around windows.

### **Entranceways and Doors:**

Many elegant homes featured tall narrow windows flanking a grand two storey entrance. Double doors were commonly the entrance design feature of choice, displaying raised panels topped by an arched over-frame window treatment. Many contemporary French style designs reflect the panel relief treatment of entrance doors in their garage door styling. Overwhelming massiveness is avoided by utilizing multiple single openings.

### **Chimneys:**

In comparison to Georgian homes, French style chimneys tended to be more elaborate in their use of crowing corbels, almost by way of emphasis on design sensibilities that attended to even the smallest detail.

## **Victorian Style Requirements**

### General:

These two-storey colonial interpretations generally featured grand entries, airy vestibules and some of the best aspects of other style.

The Georgian dormers and embellished Georgian chimneys together with Federal Period service wings, Dutch roofs, English Tudor steep roof pitches and multiple window panes. Not to be ignored were fondly recalled and recreated French Provincial turrets and arched windows together with Mediterranean villa verandas and ornate Spanish colonial decorative intricacies.

### Roofs:

Victorian style roof shapes varied considerably, offering a profusion of steep elements at various heights, together with turreted sections and dormers. Wide trim fascia boards provided the finishing touch, while fringe detailing was and continues to be an important aspect of the gable ends. Georgian influence saw dormers added to rooflines in some instances, bringing light and livability to attics.

### Walls:

Traditionally, these designs featured an abundance of beveled horizontal clapboard. Today they are characterized by an extensive and pleasing use of brick, stucco, wood and attention to detail. Asymmetrical two-storey facades blend contrasting wall materials while incorporating decorative gable ends of wood shingles or clapboards.

### Windows:

Large, usually multi-pane windows were and are the norm in order to light large rooms. Unpretentious and signified shutters, most often painted white, accentuated windows often grouped in two's or three's. Later window treatments included fan lights, bay windows borrowed from English Tudor designs, and arching brickwork to outline windows – a blend of elements from French and Georgian styles.

### Porches:

Early Victorian styles features a breakfast porch and a living porch at opposite ends of the house, sometimes capped with second storey balconies and commonly decorated with delicately crested spindle work. In later designs, the veranda was stretched to wrap the whole façade and became the style's most predominant element.

### Doors and Entranceways:

Wide, central entries warmly greeted visitors to smartly-styled front doors, often featuring decorative glazing complimented by side lights, fan lights, transom lights or pediment.

### Chimneys:

As in the case of many Victorian design features, its chimneys borrowed and combined decorative attributes from other styles. In many cases, Victorian chimney would start with the dignified look of Georgian style brick chimneys and then modify that style through the addition of decorative top detailing bearing a striking similarity to French designs.

## **2.0 STREETSCAPE**

Care must be taken to integrate the unique values of each home with special attention to the relationship with neighboring properties. Relative massing, siting and style will be of utmost importance in assuring each home compliments it's neighbor and the subdivision. Building massing, siting and style may be adjusted and/or alternate treatments requested to reinforce the streetscape. Entranceways will be covered at a level that encloses and protects the space. The style, width, height and detailing of entranceways will together create a sense of arrival.

## **3.0 HOUSE SIZE**

Minimum House Sizes: House sizes will be controlled by both the Developer and the Town of Beaumont Land Use Bylaw.

The Town of Beaumont Land Use Bylaw is R1-B Low Density Small Lot Residential for all lots in Phase 1. Please see the attached "Appendix A" for the R1-B Low Density Small Lot Residential requirements.

Houses are to have a consistency of mass and volume within the streetscape. As such, house widths and sizes must relate proportionately and logically to the lot width and neighboring houses. Individual homes will be reviewed on their own meters of design, massing, proportion and compatibility. The minimum house width must be within 2'-0" of the recommended building pocket. The maximum garage offset allowed is 2'-0" feet. The minimum house width shall be 26'-0". Entranceways will be covered at the first level.

Homes with an oversized garage (24'+wide) must include articulation in the form of a jog, to break up the expanse of flat wall plane and roof line.

**Homes will be reviewed on their individual merits of design, massing, proportion, and compatibility.**

## **4.0 SITE PLANNING AND GRADING**

**Site planning and grading must accommodate the natural slope of the land with variations in grade absorbed within the building mass as much as possible. Lot grading must be in strict conformance with the approved grading plan for the subdivision.** The minimum slope allowed is 2% with a maximum of 25%.

Special attention is to be given the treatment of exposed concrete foundation walls. A maximum of 2'0" of parged concrete will be permitted on the front and corner elevations. Variation in grade and basement design may require cladding material be lowered or extended to within 2'0" of ground level accordingly.

Front entry steps are to be a maximum of three risers per set. Where the grade calls for more than three risers, the run must be split. Exceptions to this requirement may be granted in consideration of unique design, topography and lateral bracing concerns. If there are more than three risers per set, the step will be a minimum of 4' wide with appropriate railing style.

Additional setbacks may be required to articulate and provide streetscape differentiation to all proposed homes. Homes will be reviewed on their individual merits of design, massing, proportion and compatibility and, where the Architectural Consultant considers the plan to be exceptional, and, provided that the house conforms to the general trend of the neighborhood, exceptions may be considered.

## **5.0 GARAGE/DRIVEWAY/WALKWAY**

All homes must be provided with a double attached garage, constructed with the home and located in accordance with the garage location plan. Homes should be designed to integrate the garage and minimize its appearance while enhancing the mass of the house itself. Some of the architectural measures that can achieve this are proportionate development of the second floor above the garage and an emphasis on entrance treatments. All triple car garage plans will be reviewed for acceptance and may require additional exterior detail and driveway detail.

As per the Town of Beaumont Land-Use Bylaw, the principal dwelling and any accessory buildings combined shall not cover more than 40% of the lot.

Overhead doors shall be finished in the same color as the wall cladding. The height between the overhead door and eave line should be kept to 2'0". Where the design exceeds 2'0", special treatment is required. Front driveways and walkways may be constructed of concrete, including plain, stamped and colored concrete, colored concrete pavers and exposed or washed concrete. Where colored concrete or pavers are utilized, the color must be expressly approved. The front driveway may only be as wide as the garage. Additional driveway width may be allowed at the discretion of the Consultant and upon application by the Builder. The front walkway must be a minimum of poured concrete in broom finish. Individual patio blocks will not be permitted.

## **6.0 IDENTICAL ELEVATIONS**

The same elevation shall be separated by 2 lots on the same side of the street (XOAX) and will not be permitted directly across the street. To be considered different, an alternate elevation must reflect substantial modifications. Repetitive use of elevations, this includes front elevations as well as high visibility rear elevations will be monitored to ensure interesting streetscapes.

## **7.0 EXTERIOR COLORS**

All the exterior color schemes must be approved. Colours cannot be repeated within 2 lots on the same side of the street (XOAX) and will not be permitted directly across the street. The use of a third accent color is required. Bright accent colors may be allowed and all accent colors must be complementary to the house colors.

The overhead garage door must be painted to match the wall cladding.

## **8.0 CORNER LOTS**

Houses on corner lots require special design consideration. Flanking side elevations should have suitable front elevation treatments with principal roof planes sloping towards view. All models will be considered for corner lots based on their unique suitability to these locations. Two story models will be considered only if it is demonstrated that the design is suitable in massing and style. For two storey models this may include variation in wall planes, roof at second floor set back of main floor to provide substantial roof mass between floors, appropriate wall heights, window placement and use of detailing.

## **9.0 HIGH VISIBILITY LOTS**

Lots designated high visibility requires special design consideration. These elevations must incorporate attention to detailing consistent with the front elevation and the overall design.

## **10.0 WALKOUT LOTS**

Rear elevations must avoid the appearance of a three-storey dwelling and must minimize blank wall space. The architectural devices that will best achieve this are a combination of variation in wall planes, downhill sloping roofs, dormers, decks and balconies.

All elevated decks for homes on walk-out lots that back onto amenity spaces must be built at the initial time of construction and must be identified on the building plans.

## **11.0 ROOFING**

Roof slopes will be a minimum 6/12. Exceptions with 4/12 Roof pitches will be considered for Prairie. Roof pitch on a Bungalow design will be a minimum of 7/12 and may be required to be increased to ensure an acceptable streetscape. Eave overhangs are to be proportionate to the design of the home. Cantilevers and boxouts on visible elevations (front, corner and perimeter lots) must include their own roofline and overhang. All fascia boards are to be a minimum of 8".

Roof material is to be either:

- IKO Cambridge Shingles in the following colors: Weatherwood, Driftwood, Dual Black or Charcoal Grey.
- BP Mystique Shingles in the following colors: Weatherwood, Charcoal Grey, Sandstone, or Slate Black.
- GAF – Timberline – Weatherwood, Slate, Charcoal, Barkwood.

All furnace and fireplace chimneys must be contained in a corbelled chase.

## **12.0 EXTERIOR FINISHES**

The use of window and door surrounds and/or a combination of battens, trim boards, louvers and brick or stone will be a feature on all homes. It is the intent of this clause to ensure all openings visible from the front street will be detailed with appropriate trim.

Brick or stone (masonry) is required on each home in a panel effect. The full front of the garage should be finished in masonry. As an alternate, the brick or stone may be used to a minimum 75% of the wall height if appropriate to the design. All entries and front facades of home shall be accented with brick or stone. A minimum of 150 sq. ft. of masonry will be required (based on design) to meet this requirement.

Permitted cladding materials include vinyl siding, wood siding or composite wood in horizontal application, brick/stone in stacked application, stucco (sand float finish), and Stonetile.

All trim and masonry details must be returned 24" around corners.

Parging not to exceed 2'0" on front and corner elevations.

An emphasis on entrance treatments is a requirement. Such treatment may include the use of verandahs, courtyards, and covered entries. Where the design does not lend itself to this concept, the use of alternate detailing and feature windows will be considered.

## **13.0 FENCING**

A wood screen fence may be erected around the rear and side perimeter of the lot but shall not exceed the height of 1.8 meters (5.92 ft) in height for side or rear yards.

Post sizes: 4" x 6" x 10' treated.

Board sizes: 1' x 6" rough spruce.

Rails across: 2' x 6'.

All fences should be built with SPR wood and painted "Classic Triomphe" by Cloverdale (B-8Y8, D-60, KX-16Y16, L-12Y7).

## **13.1 Landscaping**

It is the responsibility of the homeowner to landscape the front yard. In the case of corner lots, the front yard shall include the flanking side yard to the sidewalk, curb or boulevard and to the rear corner of the house.

The minimum landscape standard for all lots shall consist of sod, one tree and a prepared shrub bed containing at least eight shrubs.

The minimum deciduous tree shall be 2" caliper, measured 6" above ground.

The minimum coniferous tree (spruce or pine) must be a minimum of 6' tall.

Shrubs shall be at minimum 18" in height or spread.

A prepared bed is defined by edging (landscaping vinyl, brick, concrete, etc.).

Please see the attached "Appendix C" for the Town of Beaumont Approved List of Trees.

Any trees located along the back of the lots cannot be removed or harmed, but must remain to retain the natural beauty of the area. Trees planted by the Developer in surrounding areas are not to be removed.

All landscaping must be completed, in accordance with the requirements herein, within six (6) months of completion of the house (subject only to seasonal limitations).

The Landscape Deposit will be paid to ensure, inter alia, compliance with these guidelines. The amount of the Landscape Deposit to be paid will be:

- a. \$2,500.00 for each Lot purchased pursuant to the Lot Purchase and Sale Agreement; or
- b. If the Purchaser forms part of the Vendor's builder group (which determination is to be made by the Vendor in its sole discretion), the sum of \$2,000.00 for each Lot which sum will be paid to the Purchaser (builder) by each homeowner as set out in the Standard Terms and Conditions.

The Landscape Deposit will be held and dealt with in accordance with the Standard Terms and Conditions.

Completion of fencing is not a requisite to the final inspection, however if fencing is in place at the time of final inspection it will be assessed for compliance with the guidelines spec. Non-compliance will be treated as a deficiency, affecting the refund of landscaping deposit.

Upon completion of landscaping, the Purchaser shall call for inspection by the Vendor's Consultant. If upon inspection the Vendor's Consultant determines that the landscaping has not been satisfactorily complied with, there will be a charge of \$150.00 deducted from the Landscape Deposit for all re-inspections required. Upon approval of the landscaping requirements herein and satisfaction of other terms relating to the Landscape Deposit, subject to deductions made, the Vendor will refund the Landscape Deposit to the Purchaser, or if the Landscape Deposit is collected by the Purchaser from its homeowner, the Vendor will authorize the Purchaser to release the Landscape Deposit.

#### **14.0 ANCILLARY BUILDINGS / GARDEN SHEDS**

The side wall elevations of all ancillary buildings and garden sheds shall not extend higher than adjacent fencing. Where such structures are visible from public adjacencies (i.e. all perimeter lots, corner lots and lots backing onto the lake), exterior wall finishes, style and color shall compliment those used on the house. Roof style and materials are to match the materials used on the roof of the house.

#### **Accessory Building Zoning for R1-B**

Front Yard Setback (min.)	No closer than the Principal Building
Rear Yard Setback (min.)	12.2 m, except where the facing wall of the Detached Garage to a Lane shall not be less than 6.5 m from the Rear Property Line
Side Yard Setback (min.)	1.2 m
Building Height (Max.)	5.0 m

#### **15.0 INTERPRETATION**

The enforcement, administration and interpretation of these guidelines shall be at the discretion of MLC Group or its designated consultant. The unfettered application of these guidelines shall be without notice or precedent.

## **16.0 SITING**

### **16.1 Consultant**

Check with the Architectural Consultant and Surveyor for all applicable drawings, and any special conditions.

### **16.2 City Regulations**

Ensure that city regulations are met and note relevant plans regarding utilities and rights of way.

### **16.3 Grading**

Check Building Grade Plans and conform to them. Do not grade to existing vacant lots or unfinished lanes, but to elevations provided.

### **16.4 Plot Plans**

Hagen Surveys, shall prepare all plot plans and perform all stakeouts in the subdivision to facilitate establishing building elevations that are consistent and appropriate.

## **17.0 SUBDIVISION APPEARANCE**

### **17.1 Signage**

In order to maintain cohesiveness for signage within the subdivision, all signage will be supplied by the Developer, i.e. all model signs, directional signs and general information signs. The only signage to be supplied by the Builders Group will be on lots owned or sold by that Builder. Excessive abuse of signage, including sandwich boards may necessitate removal of ALL Builder and Realtor signs.

### **17.2 Excavation Material**

Builders must ensure that all excavation is kept within the confines of their lot. Any spillage on a road, land, sidewalk or neighboring lot must be removed immediately or the Developer will arrange for its removal and invoice for expenses.

### **17.3 Clean Up**

Builders should encourage timely removal by all subtrades of litter on building sites. Failure to comply will result in a clean-up bill being charged to the lot. [Builders must supply a bin or similar container for the length of construction on their lot \(section 21-24.11.7c\).](#) Any general clean-up of the subdivision implemented by the Developer can and will be charged pro-rata to all builders.

### **17.4 Construction Activity**

Each Builder is responsible for inspecting the condition of curbs, sidewalks, street lights, services, etc. on his lot and must submit written notice of any damages to the Developer (within 21 days of purchasing the lot) prior to commencing construction, otherwise costs for repairing any damages becomes the sole responsibility of the Purchaser/Builder.

## **18.0 APPROVAL PROCESS**

**BUILDERS MUST SUBMIT THEIR PLANS AND COLOUR SCHEMES TO THE DEVELOPERS ARCHITECTURAL CONSULTANT FOR APPROVAL PRIOR TO OBTAINING PERMITS FROM THE TOWN OF BEAUMONT.**

Prior to building the Builder inspects the lot and all services. All discrepancies or damage to be reported in writing with the application and copy forwarded to the Developer.

Before applying to the City for a development permit, the applicant shall submit plans for approval of WINDWARD LANDTEC INC. Application shall include the following:



- a) One complete set of house plans;
- b) Two Copies of the Plot plan, prepared by IBI Group, showing lot houses grades and drainage patter, floor and garage elevations; and
- c) Completed application form.
- d) Material and color samples, as required.
- e) Submit plans to: [info@windwardlandtec.com](mailto:info@windwardlandtec.com)

WINDWARD LANDTEC INC. will review the plan and recommend approval, modification, or rejection of the application based on the adherence of the plans to these guidelines. Should disputes arise, the Developer shall make the final decision on the acceptability of plans. Once approved, WINDWARD LANDTEC INC. will send a copy of the application indicating any changes to the applicant. After approval, the plans may not be altered without prior approval of WINDWARD LANDTEC INC. WINDWARD LANDTEC INC. will keep an up-to-date record of plans showing house types, color, roof lines, and grades, to advise the applicants of how their proposed house will best fit into the existing situation.

Approval of any and all house plans will be at the sole and unfettered discretion of the Developer. No stake-out will be granted until approved by WINDWARD LANDTEC INC.

### **19.0 DAMAGE DEPOSITS**

The Builder shall supply a damage deposit or Letter of Credit in the amount of \$5,000.00 (regardless of the number of lots) which is due prior to house plan and grade approval to cover:

1. Contravention of architectural objectives.
2. Possible damage to:
  - (a) Curb stop - water valve
  - (b) Sidewalks, curbs and gutters
  - (c) Driveway aprons and asphalt
  - (d) Boulevard landscaping and trees
  - (e) Rear gutters and walkways
  - (f) Light standards
  - (g) Fire hydrants
  - (h) Cathodic Protection points
  - (i) Grading and drainage swales
  - (j) Fencing

### **19.1 Deposit Return Procedure**

1. Exterior completed in accordance with these guidelines and as approved by the Architectural Consultant
2. Landscaping satisfactorily completed as per requirements
3. Final grading certificate.
4. Final grade acceptance from the Town of Beaumont.
5. Water valve exposed and marked
6. Sidewalks, street, lane, gutters, and curbs cleaned
7. Application made in writing to WINDWARD LANDTEC INC.

Upon completion of construction, site works, and landscaping, a final inspection is done to ensure compliance with the architectural guidelines and to check for any damages to municipal improvements. The following items must be completed prior to a request for final inspection:

- Home constructed in compliance with the Guidelines and the approved plan.
- Construction complete including seasonal work on exterior, site cleared of all debris, sidewalks, and curbs cleaned, cc marked and exposed.
- Landscaping completed in accordance with guideline requirements.
- Grading certificate for Final Grade is provided with Town approval.

To initiate the final inspection, a request form accompanied by the approved grading certificate must be forwarded by the builder to WINDWARD LANDTEC INC.

**The Developer must receive the Final Acceptance Certificate first from the Town of Beaumont prior to returning any deposits. It could be a two-year warranty period before Final Acceptance is completed.**

**APPLICATION FOR HOUSE PLAN APPROVAL**



Subdivision \_\_\_\_\_

Lot \_\_\_\_\_ Block \_\_\_\_\_ Plan \_\_\_\_\_

Homeowner \_\_\_\_\_

Municipal Address \_\_\_\_\_



**APPLICANT INFORMATION**

Name \_\_\_\_\_

Address \_\_\_\_\_

City \_\_\_\_\_ PC \_\_\_\_\_ Tel \_\_\_\_\_ Fax \_\_\_\_\_

Job No \_\_\_\_\_



**HOUSING DESIGN**

Type Bungalow  Bi-Level  Split Level  Two Storey  Other

Area Main Floor \_\_\_\_\_ Second Floor \_\_\_\_\_ Total Floor \_\_\_\_\_ Sq.Ft. \_\_\_\_\_

Form Roof Style \_\_\_\_\_ Roof Pitch/Slope \_\_\_\_\_ Fascia Size \_\_\_\_\_

Exterior Detail	Manufacturer	Material	Colour
Roof	_____	_____	_____
Wall	_____	_____	_____
Brick / Stone	_____	_____	_____
Trim	_____	_____	_____
Soffit, Fascia	_____	_____	_____
Window	_____	_____	_____
Front Door	_____	_____	_____
Garage Door	_____	_____	_____
Chimney	_____	_____	_____
Driveway	_____	_____	_____
Driveway Border	_____	_____	_____
Verandah	_____	_____	_____

NOTE:  
 Colour - Please specify Manufacturer's name, reference number and colour: Example, Olympic 704 Brown  
 Siting and grades as per surveyors plot plan.  
 Conformance to setback and lot grading requirements are the responsibility of purchaser and /or builder.

USE OF HOUSE PLAN APPROVAL SERVICES  
 The Applicant acknowledges that the house plan approval is provided as a service and that the developer and its designated consultants assume no responsibility for the accuracy of the information provided, or for any losses or damages resulting from use thereof. The applicant further acknowledges that they will hold the developer and its designated consultants harmless from any action resulting from the use of this information.

Date \_\_\_\_\_ Signature \_\_\_\_\_

12128 - 121A Street, Edmonton Alberta T5L 0A4 Tel. 780.454.6799 Fax: 780.454.6896 email: info@windwardlandtec.com

**APPLICATION FOR HOUSE PLAN APPROVAL**

**“Appendix A”**

R1-B Low Density Small Lot Residential  
The Town of Beaumont Land Use Bylaw



## 8.2 R1-A LOW DENSITY RESIDENTIAL DISTRICT

8.2.1 **Purpose:** This District is intended to provide for low density residential Development.

### 8.2.2 Permitted Uses:

- a) Accessory Building
- b) Single Detached Dwelling

### 8.2.3 Discretionary Uses:

- a) Bed and Breakfast Establishment
- b) Garage Suites
- c) Home Based Business
- d) Secondary Suites
- e) Show Home
- f) Temporary Sales Centre
- g) Utility Buildings, Structures or Installations

8.2.4 **Development Regulations:** In addition to the General Regulations outlined in Part 4 of this Bylaw, the following provisions shall apply to every Development in this District:

MINIMUM/MAXIMUM STANDARD	PRINCIPAL BUILDING	ACCESSORY BUILDING
Lot Width (min.)	14.0m	
Lot Depth (min.)	35.0m	
Lot Coverage (max.)	40%	
Front Yard Setback (min.)	6.0m for a residential dwelling 6.5m for attached Garage	No closer than the residential dwelling
Rear Yard Setback (min.)	7.5m – with the following exception: <ul style="list-style-type: none"> <li>• In the case of a Corner Lot the minimum Setback shall be 1.5m</li> </ul>	1.2m, except where the facing wall of the Detached Garage to a Lane shall not be less than 6.5m from the Rear Property Line



MINIMUM/MAXIMUM STANDARD	PRINCIPAL BUILDING	ACCESSORY BUILDING
Side Yard Setback (min.)	1.5m – with the following exceptions: <ul style="list-style-type: none"> <li>• where there is no Lane Abutting the Lot, one Side Yard Setback shall be a minimum of 3.05m to accommodate vehicle access (unless there is an attached garage).</li> <li>• where the Building fronts onto the Front Yard of a Corner Lot, the minimum Side Yard Setback for the Side Yard Abutting the flanking Public Roadway (other than a Lane) shall be a minimum of 3.5m</li> <li>• where the Building fronts onto a flanking Public Roadway (other than a Lane) on a Corner Lot, the minimum Side Yard Setback for the Side Yard Abutting that flanking Public Roadway shall be a minimum of 6.5m.</li> </ul>	1.2m
Main Floor Area (min.)	92.90m <sup>2</sup> – Bungalow or Bi-Level 78.97m <sup>2</sup> – Split Level or 1½ Storey 69.68m <sup>2</sup> – 2 storeys or more	
Building Height (max.)	10.0m	5.0m

- a) the Lot width on an irregular or Corner Lot shall be measured 6.0 metres into the Lot from the Front Property Line;
- b) the minimum depth of an irregular shaped Lot shall be 35.0 metres along the centreline or one side of the property may be 35.0 metres in length; exceptions will be made to accommodate a practical design provided the minimum depth of the Lot is not less than 33.5 metres;
- c) in no case shall the Front Property Line be less than 6.0 metres unless, in the opinion of the Development Officer, a lesser frontage is desirable to accommodate an aesthetically pleasing and practical design in a cul-de-sac; and
- d) the design of dwellings must ensure individuality and a variety of dwellings within the District. This will require consideration of the exterior treatment of materials, textures, rooflines and wall openings on the same side of the Public Roadway, as well as directly across the Public Roadway from one another. Therefore, designs shall only be allowed to be repeated after every third Principal Building, as illustrated by the sequence A B C D A.



### 8.3 R1-B LOW DENSITY SMALL LOT RESIDENTIAL DISTRICT

8.3.1 **Purpose:** This District is intended to accommodate smaller Dwelling Units, thereby allowing a diversity of house sizes in the community.

8.3.2 **Permitted Uses:**

- a) Accessory Building
- b) Single Detached Dwelling

8.3.3 **Discretionary Uses:**

- a) Bed and Breakfast Establishment
- b) Garage Suites
- c) Home Based Business
- d) Secondary Suites
- e) Show Home
- f) Temporary Sales Centre
- g) Utility Buildings, Structures or Installations

8.3.4 **Development Regulations:** In addition to the General Regulations outlined in Part 4, the following provisions shall apply to every Development in this District.

MINIMUM/MAXIMUM STANDARD	PRINCIPAL BUILDING	ACCESSORY BUILDING
Lot Width (min.)	11.0m	
Lot Depth (min.)	35.0m	
Lot Coverage (max.)	40%	
Front Yard Setback (min.)	6.0m for residential dwelling 6.5m for attached Garage	No closer than the residential dwelling
Rear Yard Setback (min.)	7.5m except in the case of a Corner Lot the Setback shall be 1.5m	1.2m, except where the facing wall of the Detached Garage to a Lane shall not be less than 6.5m from the Rear Property Line

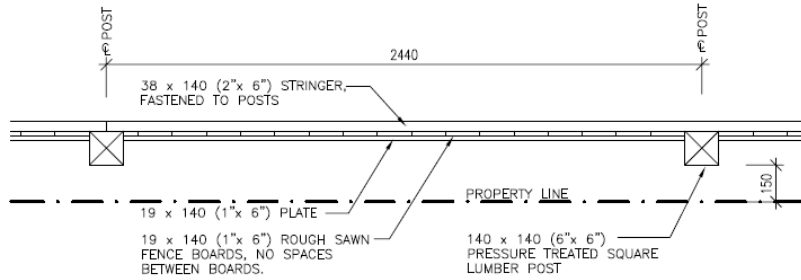


MINIMUM/MAXIMUM STANDARD	PRINCIPAL BUILDING	ACCESSORY BUILDING
Side Yard Setback (min.)	1.5m - except <ul style="list-style-type: none"> <li>• where there is no Lane Abutting the Lot, one Side Yard shall be at least 3.05m for vehicular access, unless there is an attached Garage;</li> <li>• on a Corner Lot where the Building fronts on the Front Yard, the minimum Side Yard Abutting the flanking Public Roadway (other than a Lane) shall be a minimum of 3.5m; and</li> <li>• on a Corner Lot where the Building fronts on a flanking Public Roadway (other than a Lane), the minimum Side Yard Abutting the flanking Public Roadway shall be 6.5m.</li> </ul>	1.2m
Main Floor Area (min.)	78.97m <sup>2</sup> – Bungalow or Bi-Level 67.35m <sup>2</sup> – Split level or 1½-Storey 56.67m <sup>2</sup> – 2-Storeys or more	
Building Height (max.)	10.0m	5.0m

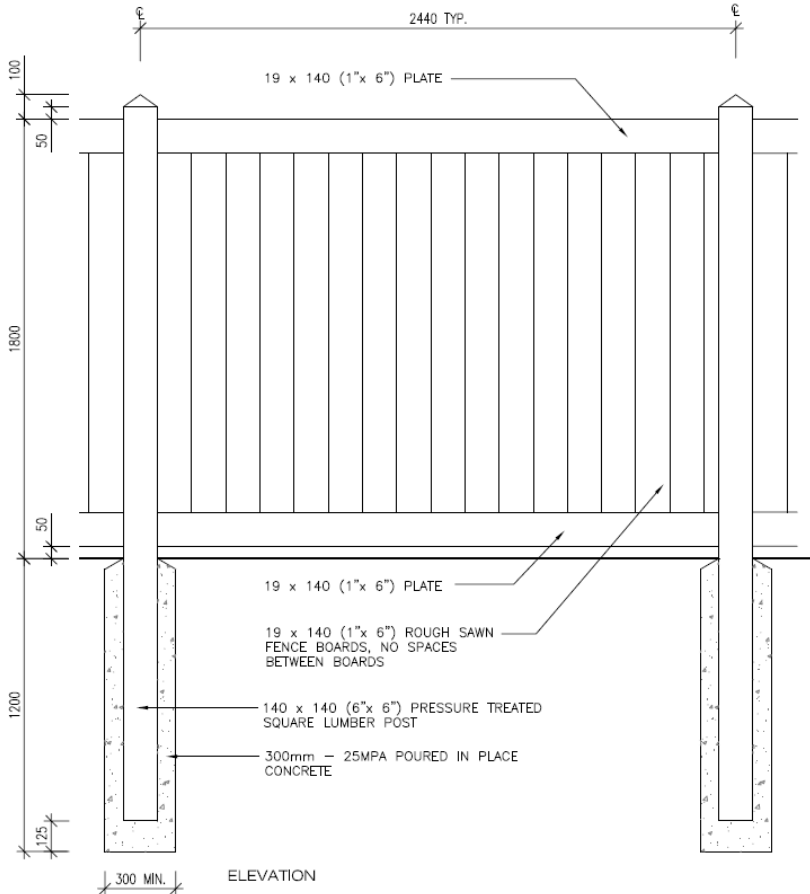
- a) the Lot width on an irregular or Corner Lot shall be measured 6.0 metres into the Lot from the Front Property Line;
- b) the minimum depth of an irregular shaped Lot shall be 35.0 metres along the centerline or one side of the property may be 35.0 metres in length; exceptions may be made to accommodate a practical design provided the minimum depth of the lot is not less than 33.5 metres;
- c) in no case shall the Front Property Line be less than 6.0 metres unless, in the opinion of the Development Officer, a lesser frontage is desirable to accommodate an aesthetically pleasing and practical design in a cul-de-sac; and
- d) the design of dwellings must ensure individuality and a variety of dwellings within the District. This will require consideration of the exterior treatment of materials, textures, rooflines and wall openings on the same side of the Public Roadway as well as directly across the Public Roadway from one another. Therefore, designs shall only be allowed to be repeated after every third Principal Building as illustrated by the sequence A B C D A.



**“Appendix B”**  
**FENCE DETAIL PLAN**  
**By CLOVERDALE PAINTS**  
**STAIN COLOUR: Classic Triomphe**  
**(B-8Y8, D-60, KX-16Y16, L-12Y7)**

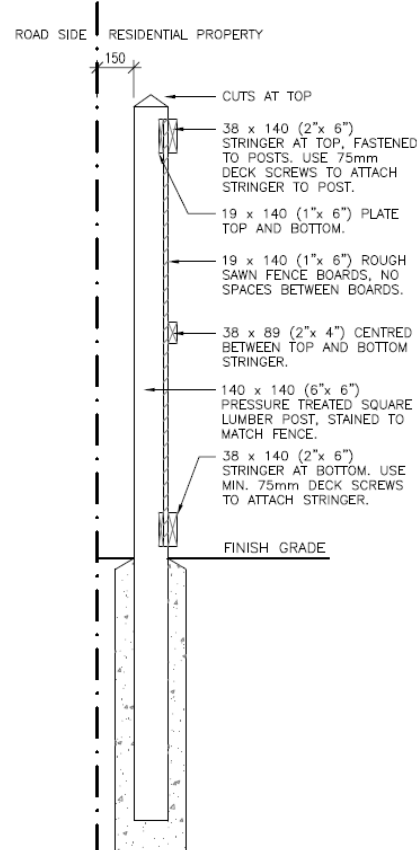


PLAN VIEW



ELEVATION

NOTE:  
 FENCE TO BE 150mm INSIDE PROPERTY LINE TYPICAL.  
 NAILS ARE TWISTED HOT DIP GALVANIZED.  
 NAILS TO BE 50mm ARDOX FOR BOARDS.  
 PAINT: 2 COATS OF STAIN, COLOUR TO BE DETERMINED. STAIN TO BE APPLIED TO MANUFACTURERS SPECIFICATIONS.  
 PRESSURE TREATED POSTS TO BE TREATED WITH A SOLUTION OF PENTACHLOROPHENOL AND PETROLEUM TO CSA-080 SPECIFICATIONS.  
 PRIOR TO INSTALLATION OF FENCE, THE CONTRACTOR SHALL ENSURE COORDINATION WITH ALBERTA FIRST CALL TO STAKE ALL UTILITIES.



SECTION

**1.8m HEIGHT TIMBER SCREEN FENCE**

DETAILS

SCALE 1:20

“Appendix C”  
TOWN OF BEAUMONT APPROVED TREE LIST

Coniferous:

Douglas Fir  
Jack Pine  
Swiss Stone Pine  
Lodgepole Pine  
Scots Pine  
Colorado Spruce  
Norway Spruce  
White Spruce

Deciduous:

Black Ash or Green Ash  
American Brasswood or European Brasswood  
Paper Birch\*  
European White Birch\*  
Ohio Buckeye  
Amur Cherry  
May Day Tree  
Pincherry  
Schubert Chokeberry  
Siberian Flowering Crabapple  
Flowering Crab Cultivars  
American Elm  
Siberian Elm  
American Larch  
Siberian Larch  
Japanese Tree Lilac  
Manitoba Maple  
Silver Maple  
American Mountain Ash  
European Mountain Ash  
Russian Mountain Ash  
Snowy Mountain Ash  
Bur Oak  
Russian Olive  
Ussurian Pear  
Griffin Poplar  
Brooks #6 Poplar  
Northwest Poplar  
Sharp Leaf Willow  
Siberian White Willow  
Golden Leaf Willow  
Laurel Leaved Willow

\*Birch species may be acceptable only in certain applications due to their susceptibility to Leaf Miner.

Note: Poplar and Willow species are not acceptable in boulevard areas, residential lots and near storm/sanitary sewer lines (20 m clearance) due to their water seeking tendencies.

“Appendix D”  
PHASE 1 SUBDIVISION PLAN

# TRIOMPHE

• IN BEAUMONT •

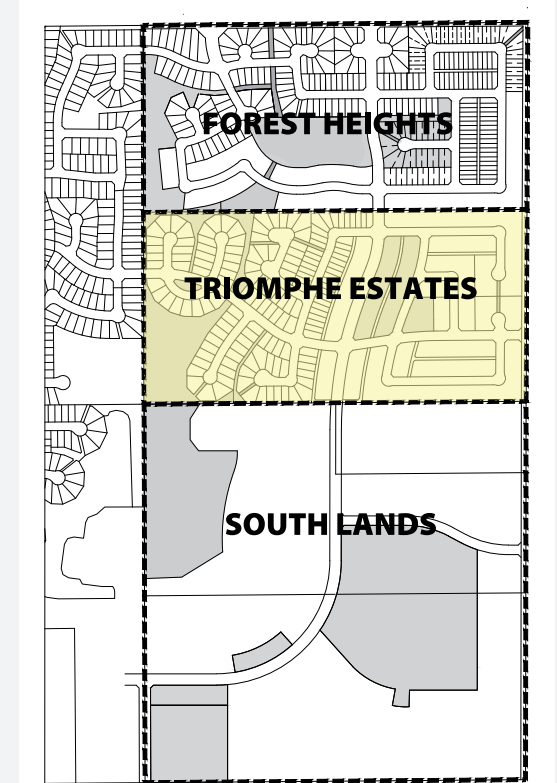
## Neighbourhood Overall and Lot Information Plan



### LEGEND

- Suggested House Width (in feet)
- Special Treatment to Side/Rear Elevation Required
- Garage / Driveway Location
- Walkout / Partial Walkout
- Light Standard
- Fire Hydrant
- Telephone/Video Pedestal/Transformer
- Proposed Mailbox Location
- Proposed Tree Locations (Subject to Change)
- Paths & Walkways
- Wood Screen Fence
- Chain Link Fence
- Gate (one per lot)

### TRIOMPHE IN BEAUMONT



REVISED JANUARY 2017

This plan is an information plan only and is subject to change, error and /or omissions. All green spaces and landscaping elements are approximate only. Street furniture and landscaping elements are approximate and are subject to change. Dimension are in feet and decimals. Please refer to the registered subdivision plan to confirm all information. **Contact the City of Beaumont for current information. This plan should NOT be used for design or construction purposes.** Triomphe Land Company Inc. accepts no responsibility for inappropriate use of this plan.