



Phase 1
Architectural Guidelines

Prepared by Mariah Consulting, Revised April 2015

Developed by



and



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1.0 Introduction

The objective of these architectural guidelines is to ensure the highest standard of visual appeal and image, ensuring compatibility and integration within the community. Outlining the opportunities and constraints of building, these guidelines will assist builders, designers and home buyers in achieving a positive building experience.

2.0 Architectural Theme

Graydon will be a community inspired by enduring architecture, evoking the independent spirit, hard work and triumphs of the mountains and prairies. Directed by Ranch and Alpine styling, the Alpine Chalet and the Modern Ranch collections share simplicity and essential distinctions. Natural elements, simplified outlines and color statements are combined with chic and urbane forms.

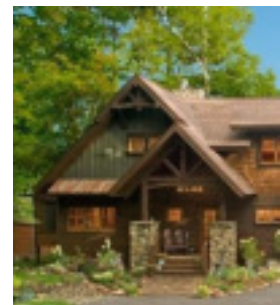


3.0 House Size, Massing and Style

3.1 Streetscape

The massing and size of each home must reflect appropriate scale and styling within the streetscape. Massing, style and setback may be adjusted on a lot to lot basis, to enhance the streetscape.

Alpine elevations will include variations in wall plane at the second floor façade, while the Modern Ranch façade may be flat.



3.2 House Size

Houses are to have a consistency of mass and volume within the streetscape. As such, house widths and sizes must relate proportionately to the lot width and neighboring houses.

Building massing, siting and style may be adjusted and/or alternate treatments requested to reinforce the streetscape. Entranceways will be covered at the first level.

Homes with an oversized garage (24'+ wide) must include articulation in the form of a jog, to break up the expanse of flat wall plane and roof line.

Home incorporating a garage offset of more than 3' will be specifically reviewed for suitability.

4.0 Site Planning and Grading

4.1 Conformance to Grading Plan

Site planning and grading must accommodate the natural slope of the land with variations in grade absorbed within the building mass. The Purchaser shall be responsible for the design, construction and costs of any retaining structures and must ensure design grades and lot drainage are not compromised.

4.2 Parging

Exposed concrete and parging will be restricted to a maximum of 2' at all visible elevations.

4.3 Risers and Entry Steps

Front entry steps are to be a maximum of four risers per set. Where the grade or design calls for more than four risers, the run must be split.

5.0 Repetition

Similar or approximately identical elevations must not be repeated within two lots (XOAX) or directly across the street. To be sited adjacent, homes must be markedly different in all elements.

On lots designated high visibility, repetition must be addressed at both the front and rear elevations.

Streetscapes will be diverse without a predominance of one style.

Repetitive use of elevations and architectural styles will be monitored to ensure interesting streetscapes. Modifications to elevation treatments may be required accordingly.

5.1 Duplex and Townhouse Product

In addition, duplex and townhouse buildings will be designed to avoid mirror image of units. Variation in wall planes, rooflines, window groupings and finishes are some of the architectural measures that can achieve distinction between units.



Duplex 'Alpine Chalet'



Duplex 'Modern Ranch'

6.0 Special Design Considerations

6.1 Corner Lots

All corner lots are highlighted for exceptional treatment, with a higher standard at corner lots on and visible from collector roadways. Flanking side elevations on corner lots must have full front elevation treatment, reflecting appropriate wall heights, window placement, detailing and stylistic distinction consistent with the front elevation.

Variation in wall plane is required on all models. Two story models also require substantial roof mass between floors.



Inappropriate corner treatment



Appropriate corner treatment
'Modern Ranch'



Appropriate corner treatment
'Alpine Chalet'

6.2 Rear Elevation

High visibility rear elevations require special design consideration. Elevations at these locations must reflect stylistic definition, massing, and detailing consistent with the front elevation. Wall plane must include variation and suitable number of openings.

6.3 Rear Elevation, Duplex and Townhouse

In addition, duplex buildings will be designed to avoid mirror image of units at front elevation and rear elevation on high visibility lots.



Duplex rear 'Alpine Chalet'



Duplex rear 'Modern Ranch'

6.4 Walk Out Lots

The rear elevation of these homes must present an integrated building form. A combination of architectural measures will be required to address suitable proportions and diminish massing. Graduated roof lines sloping to view, dormers, decks, detailing and articulated wall planes will be some of these measures. The distance from grade to the first substantial roof line shall not be more than 20'. Decks must be constructed concurrently.



Inappropriate walkout



Appropriate walkout
'Alpine Chalet'



Appropriate walkout
'Modern Ranch'

7.0 Driveways, Garages, Walkways

7.1 Driveway and Walkway Finishes

Driveways and walkways may be constructed of the following materials:

- concrete, broom finish
- stamped and coloured concrete
- exposed aggregate concrete
- concrete pavers, coloured

In all cases where coloured concrete or pavers are used, the colours must be expressly approved at time of application.

7.2 Front Drive Garage Product

Double attached, front drive garages, located in accordance with the street furniture plan, will be standard on attached garage product. Single garages will be standard on the duplex product and considered on an individual basis for single detached product.

a) Oversized garages

Oversized (24'+ wide) garages will require articulation in the way of a jog with a separate roofline and front facing window.

b) Garage Massing

The area above the attached garage must include a bonus room or some development of the second floor to balance the overall massing.

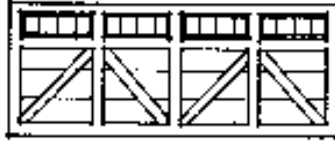
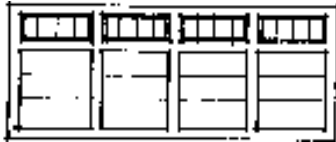


Garage massing
'Alpine Chalet'

Development of the area above the garage may be pulled forward to be flush or overhanging the garage below. This alteration of scale and massing will include features such as layering of finishes, beam details, pergola framing and bump outs to reorder the scale.

c) Overhead Doors

Garage overhead doors will be raised panel, painted to blend with the exterior and enhance the presentation. Corners of overhead doors must be straight. Angled corners will not be permitted. An upgraded overhead door is required for the Modern Ranch collection, with or without glazing, and is encouraged on the Alpine collection, in styles including, but not limited to those illustrated below.



d) Driveway Configuration

Driveway is not to exceed the width of the garage to the garage front where the width may then flare to include a walkway to the front and/or rear yard.

7.3 Rear Lane Product

A poured concrete parking pad will be provided concurrent with house construction. The approach to the parking pad from the lane must be paved with asphalt or concrete

a) Detached Garage

Detached garages should be consistent in style, finish and color with the design of the house. It is not necessary to obtain architectural approval prior to constructing a detached garage.

b) Overhead Doors

Overhead doors for rear lane product may be standard design, raised or flat panel in standard white finish or may be painted to blend with exterior color scheme.

c) Walkway

The walkway to a house from the public sidewalk, curb or driveway must be at minimum, poured concrete in broom finish, 2'6" wide. Individual patio blocks will not be permitted.

8.0 Roofing

8.1 Materials

Approved roofing materials include a standard 3 tab shingle in variegated earth tone shades. Architectural shingles may be utilized in the same colors. Green, red, blue, etc. are not considered earth tones. Standing seam metal roofs may be suited in matte finish and earth tone color.

8.2 Style

Both design styles will present a combination of simple shed roof and intersecting front facing gables.

Cottage roofs will not be utilized for the Alpine Chalet and dutch gables will be restricted to the garage gable only.



Roof style
'Alpine Chalet'



Roof style
'Modern Ranch'

Dutch gables will not be utilized at all for Modern Ranch, while a cottage roof line may be included at the garage or entry.

8.3 Slope

Main roof slopes are minimum 7/12, while a higher pitch may be used at secondary shed and front facing gables.

8.4 Overhangs/Eaves

- Eave overhangs are to be 12" on the Modern Ranch collection and 24" on the Alpine Chalet collection
- Minimum 6" fascia
- Cantilevers and box outs on visible elevations must include a separate roofline and minimum overhang

8.5 Chimneys

Any furnace and chimneys must be contained in a corbelled chase.

8.6 Other

Skylights permitted in a flat design, installed inconspicuously.

Solar panels may be installed. When utilized on a garage roof, the panels must be installed at the side yard rather than the entry side. The shingle must be selected carefully to blend with the colour of the solar panel.

9.0 Defining Details

9.1 Architectural Theme

Graydon will be a community inspired by enduring architecture, evoking the independent spirit, hard work and triumphs of the mountains and prairies. Directed by Ranch and Alpine styling, the Alpine Chalet and the Modern Ranch collections share simplicity and essential distinctions. Natural elements, simplified outlines and color statements are combined with chic and urbane forms.

Materials and finishes are textured and unrefined for the Alpine Chalet, while smooth and reimagined for the Modern Ranch.

9.2 Defining features for the Alpine Chalet collection include:

Natural wood – Cedar will be finished in a clear coat or semi-transparent stain and must be utilized in two variations on the visible elevations, as follows:



- Shakes
- Angle brackets
- Trim
- Shadow bands
- Entry columns
- False beams
- Vertical siding
- Shutters

Alpine elevations will include variations in wall plane at the second floor façade.

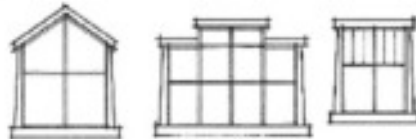
Trims – Decorative and substantial, minimum 6” raised surrounds and shadow bands, 8” belly bands and gable braces. Angle brackets and false beams 6” or 8” dimensional or built up. Shutters must be three or four piece board & batten.



Gable braces and detail ‘Alpine Chalet’



Windows – Glazing will be expansive and may be unadorned by grills or include simple division of lights. Rake windows and elliptical or rectangular transoms are a distinguishing feature. All openings include simple trim surrounds.



Windows ‘Alpine Chalet’

Entrance – The entrance is covered at the first level and celebrated with timber or stone columns and brackets. Columns and posts are substantial in form and add weight to the presentation. Entry roof is gabled or shed. Entry doors are Classic Country and exclude colored glass and ornate patterns.



Entry door ‘Alpine Chalet’



Wood veranda/porches will be skirted to grade, include closed risers and will be painted or stained in a finished state. The landing and treads at the veranda may be left in a natural state. Precast concrete steps are also acceptable.

Stone may be required to reinforce the styling on the Alpine Chalet collection, strategically installed to fortify the styling as follows:

- Column bases
- Accent to emphasize projections
- Landscape feature
- Accent at garage
- Exposed foundation
- Chimneys

Louvers are not suited.

9.3 Defining features for the Modern Ranch collection include:

The absence of ornamentation is evident. Horizontal and vertical sidings dominate the façade and emphasize the simple lines and even planes. Asymmetric elements may add interest.

The Modern Ranch elevations may present a flat façade or include a single variation in wall plane at the second floor.



Trims – Openings are trimmed with a narrow (3” or 4”) surround. Slim (3” or 4”) angle brackets may be installed for visual support. Gable ends will include a 4” shadow band.



Angle brackets ‘Rustic

Windows – Glazing configurations and placements punctuate the Modern Ranch style with deference to the utilitarian. Windows will include a singular vertical and/or horizontal grill / mullion.



Windows ‘Rustic

Entrance – The entrance is covered at the first level with a shed or cottage roof. An awning style metal shed may be a feature. Columns/posts are 6” or 8” metal or panel clad, without collar trims or separate bases. Entry doors are Classic Country and exclude colored glass and ornate patterns. A solid panel door is also suited to this style. Wood veranda/porch will be skirted to grade, include closed risers and will be painted or stained in a finished state. The landing and treads at the veranda may be left in a natural state. Lattice is not an appropriate skirting for the Modern Ranch collection.



Entry door

Long rectangular louvers and specific gable detailing may be suited.

Brick or stone may be applied in a panel effect. Stone is suited in a stacked or profit profile only.

9.4 Siding and Finishes

Stucco is not permitted. Siding only permitted in traditional profile for horizontal application.

| <u>Alpine Chalet</u> | <u>Modern Ranch</u> |
|---|--|
| Vinyl Siding, Traditional Profile | Vinyl Siding, Traditional Profile |
| Cedar Siding, Horizontal and Vertical* | Vertical Vinyl or Aluminum Siding |
| Fiber Cement Siding, Horizontal and Vertical | Fiber Cement Siding, Horizontal and Vertical* |
| Engineered Wood Siding, 15 year in Horizontal and Vertical* | Engineered Wood Siding, 15 year in Horizontal and Vertical |
| Cedar Shakes** | Brick and Stacked or Profit Stone |
| Natural or Cultured Stone in stacked application. Suitable profiles include Shadow Rock, Weather Edge, Bluffstone, Rustic Ledge, Mountain Ledge, River Rock | |
| Note: Traditional Lap Profile Only, for Horizontal Siding | |
| *Finished in clear coat or semi-transparent stained | |

Siding profile
Inappropriate



Siding profile
Appropriate



9.5 Detail Returns

All trim, accent siding and masonry details must be returned 24” at side elevations.

9.6 Accessories

Window grills will be minimum 5/8"

Railings will be traditional picket style at the front elevation. At rear elevation, railings may be glass panel with traditional post and rail design.

Homeowners are responsible for the installation of permanent address numbers or plaque, to be affixed at time of final inspection.

10.0 Colours

All colours will be reviewed on an individual basis without repetition on adjacent lots.

Colour is integral to defining Graydon. Warm dark earth tones and bold historical colors will be dramatic. All cladding colors will be selected from the Premium Palette in dark bold tones. Trim and fascia will be tonal rather than contrasting, in a single color. Natural cedar will be an authentic or simulated feature on all Alpine Chalet homes.

Streetscapes will be diverse without the predominance of one colour or tone.



See Appendix 'C' for sample colour selections appropriate to style.

11.0 Landscaping

11.1 Front Yard Minimum Requirements

It is the responsibility of the homeowner to landscape the front yard. In the case of corner lots, the front yard shall include the flanking side yard to the sidewalk, curb or boulevard and to the rear corner of the house.

The objective of the landscape requirements is to achieve greenery. The planting of natural and indigenous species are encouraged.

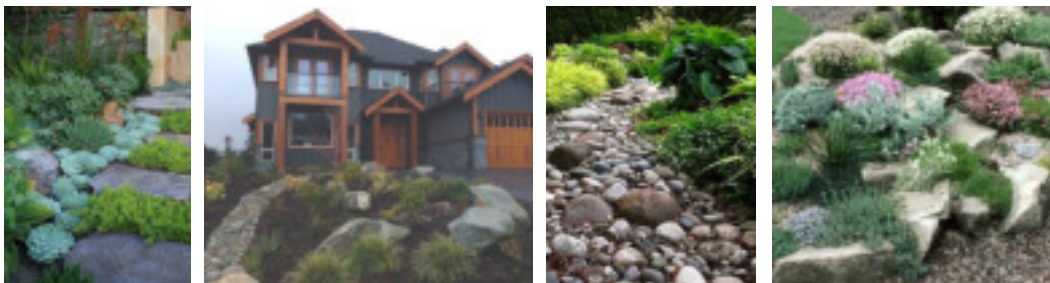
The minimum landscape standard for all lots shall consist of:

- Sod in the front yard to the front corner of house and/or garage.
- One tree - Coniferous trees (smaller varieties such as weeping spruce, mugo pine, lodgepole pine, etc.) are the preference, minimum size 5' height (or spread if mugo pine). Deciduous tree size minimum 2" caliper

- Six shrubs (3 deciduous and 3 coniferous) minimum 18” height or spread in a separate bed, defined by edging (vinyl, brick, landscape block, etc.) Shrub bed must be located forward of the garage (in the forward half of the front yard). In the event perennials are planted in lieu of deciduous shrubs, four (4) perennials will be considered equal to one (1) deciduous shrub.
- The sideyard at the driveway may be finished in sod or rock/bark mulch
- Perimeter and high visibility lots require the planting of one tree of minimum standard, in rear yard, within ten feet of rear property line

Alternate materials to sod (rock and/or bark mulch) will be permitted if the alternate plan meets the objective of these guidelines to achieve greenery in all front yards within the neighbourhood. The use of hard surface landscaping will require:

- The planting of an additional ten (10) shrubs, minimum
- A variety of rock sizes as well as obvious variations in contours and materials for interest. Boulders are well suited to the neighbourhood styling. Colored shale and white landscape rock will not be permitted.
- Artificial turf/grass is not approved for use in Graydon



Examples of appropriate hard surface landscaping

The landscaping must be completed, in accordance with these requirements, within six months of occupancy (subject to seasonal limitations).

Note: Landscaping plans cannot be reviewed prior to implementation.

11.2 Deposit

The Landscape Deposit will be paid to ensure, inter alia, compliance with these guidelines. The amount of the Landscape Deposit to be paid will be:

- a) \$2,500.00 for each Lot purchased pursuant to the Lot Purchase and Sale Agreement; or
- b) If the Purchaser forms part of the Vendor’s builder group (which determination is to be made by the Vendor in its sole discretion), the sum of \$1,500.00 for each Lot which sum will be paid to the Purchaser (builder) by each homeowner as set out in the Standard Terms and Conditions.

The Landscape Deposit will be held and dealt with in accordance with the Standard Terms and Conditions.

Upon completion of landscaping, the Purchaser shall call for inspection by the Vendor's Consultant. If upon inspection the Vendor's Consultant determines that the landscaping has not been satisfactorily complied with, there will be a charge of \$150.00 deducted from the Landscape Deposit for all re-inspections required. Upon approval of the landscaping requirements herein and satisfaction of other terms relating to the Landscape Deposit, subject to deductions made, the Vendor will refund the Landscape Deposit to the Purchaser, or if the Landscape Deposit is collected by the Purchaser from its homeowner, the Vendor will authorize the Purchaser to release the Landscape Deposit.

Completion of fencing is not a requisite to the final inspection, however if fencing is in place at time of final inspection it will be assessed for compliance with the guideline standard for the neighbourhood. Non-compliance will be treated as a deficiency, affecting the refund of landscaping deposit.

12.0 Fencing

All wood screen fencing must be consistent in design and colour with the fencing style established for the subdivision. Lot 1, Block 4 and Lots 26 & 29, Block 5 must install corner step down wood fencing for yard siding Graydon Hill Way. See Appendix 'B' for fencing details and stain colors.

Lots backing onto the pond and Environmental Reserve may utilize wood screen fence at the side property lines. The fence may be full height to a point 10' forward of the rear property line, where the fence must be ANGLED down to match the height of the developer installed chain link fence at the rear.



13.0 Ancillary Buildings/Garden Sheds

Where such structures are visible from public adjacencies, (perimeter lots, corner lots and lots designated high visibility) exterior finish style and colour shall compliment the house. Roof style and materials are to match the materials used on the house.

Accessory buildings on lots designated high visibility must be a minimum of three (3) metres from the rear fence line.

14.0 Interpretation

The enforcement, administration and interpretation of these guidelines shall be at the discretion of MLC Group or it's designated consultant. The unfettered application of these guidelines shall be without notice or precedent.

Homes will be reviewed on their individual merits of design, massing, proportion and compatibility, and where the Architectural Consultant considers the plan to be exceptional, and provided that the house conforms with the general trend of the neighborhood, exceptions may be considered.

15.0 City Regulations

Formal standards for development will be those established in the City of Edmonton Land Use Bylaw. Conformity with these architectural requirements does not supersede the required process of The City of Edmonton. However, it shall be the Builder's responsibility to consider the implications of zoning bylaws with respect to height, etc. when designing the home. Reducing roof slopes to lower the overall height of a building will not be permitted to compromise the architectural integrity of the style.

16.0 Plot Plans

A designated surveyor shall prepare all plot plans and perform all stakeouts in the subdivision to facilitate establishing building elevations that are consistent and appropriate.

17.0 Subdivision Appearance

17.1 Signage

In order to maintain cohesiveness for signage within the subdivision, all signage will be supplied by the Developer, i.e. all model signs, directional signs and general information signs. The only signage to be supplied by the Builders Group will be on lots owned or sold by that Builder. Excessive abuse of signage, including sandwich boards may necessitate removal of ALL Builder and Realtor signs.

17.2 Excavation Material

Builders must ensure that all excavation is kept within the confines of their lot. Any spillage on a road, land, sidewalk or neighboring lot must be removed immediately or the Developer will arrange for its removal and invoice for expenses.

17.3 Clean Up

Builders should encourage timely removal by all subtrades of litter on building sites. Failure to comply will result in a clean-up bill being charged to the lot. Supply of bins by the Builder is recommended. Any general clean up of the subdivision implemented by the Developer can and will be charged pro-rata to all builders.

17.4 Construction Activity

Each Builder is responsible for inspecting the condition of curbs, sidewalks, street lights, water curb cock (cc) services, boulevard landscaping on or adjacent to his lot and must submit written notice of any damages to the Developer prior to commencing construction, otherwise costs for repairing any damages becomes the sole responsibility of the Purchaser/Builder.

18.0 Approval Process

Prior to application the Builder has inspected the lot and all services. All discrepancies or damage are to be reported in writing to the Developer.

Before applying to the City for a development permit, the applicant shall submit plans for approval to MARIAH CONSULTING LTD. Application shall include the following:

- a) One complete set of house plans; 3/16" or 1/8" = 1'
- b) Two Copies of the Plot plan, prepared by Stantec Geomatics, 1:300, showing lot house grades and drainage pattern, floor and garage elevations; and
- c) Completed application form.
- d) Material and color samples, as required.

Incomplete submissions may be returned without review. MARIAH CONSULTING LTD. will review the plan and recommend approval, modification, or rejection of the application based on the adherence of the plans to these guidelines within 5 working days.

Should disputes arise, the Developer shall make the final decision on the acceptability of plans. Once approved, MARIAH CONSULTING LTD. will send a copy of the application indicating any changes to the applicant. After approval, the plans may not be altered without prior written approval of MARIAH CONSULTING LTD. MARIAH CONSULTING LTD. will keep an up-to-date record of plans showing house types, color, roof lines and grades, to advise the applicants of how their proposed house will best fit into the existing situation.

Approval of any and all house plans will be at the sole and unfettered discretion of the Developer.

No stakeout will proceed until architectural approval is granted.

19.0 Security Deposit

The Security Deposit will be paid to the Vendor to ensure, inter alia, completion with these guidelines, including:

- a) Confirmation that there is no contravention of the architectural requirements in these guidelines; and
- b) To verify that no damage has been made to the Improvements and additional damage to curb stop – water valve, sidewalks, curbs and gutters, driveway aprons and asphalt, boulevard landscaping and trees, rear gutters and walkways, light standards, fire hydrants, cathodic protection points, grading and drainage swales, and fencing.

The amount of the Security deposit will be:

- a) \$7,500.00 for each Lot purchased pursuant to the Lot Purchase and Sale Agreement; or
- b) If the Purchaser forms part of the Vendor's builder group (which determination is to be made by the Vendor in its sole discretion) the sum of \$10,000.00 for all of the Lots purchased in the applicable Subdivision Stage.

19.1 Security Deposit Return Procedure

Upon completion of construction, site works, and landscaping, a final inspection will be completed by the Vendor or the Vendor's Consultant to ensure compliance with the Standard Terms and Conditions of which these guidelines form part. Such inspection shall also be for the purpose of determining if damages have been made to the Improvements and other items referred in paragraph 19 of these guidelines.

Prior to such inspection, the following items must be completed:

- a) The as built single family dwelling(s) on the Lands have been built in accordance with the Design Guidelines in accordance with the plans approved by the Vendor pursuant to paragraph 27 hereof;
- b) The Purchaser has otherwise complied with the Design Guidelines and the Vendor is satisfied that any and all damages to the Improvements (as defined in Schedule "C" hereof) have been rectified and paid for by the Purchaser;
- c) The Purchaser has otherwise fulfilled all of its obligations under the Lot Purchase and Sale Agreement; and
- d) The Vendor has obtained a Final Acceptance Certificate from the Municipality respecting the Subdivision.

To initiate a final inspection, the Purchaser must forward to the Vendor or the Vendor's Consultant a request form accompanied by the approved grading certificate provided by the Municipality.

The Vendor or the Vendor's Consultant will perform pre-Final Acceptance Certificate ("FAC") (as such term is used by the Municipality) inspection and final FAC inspection to identify damages to the Improvements and other items referred to in paragraph 19 of these guidelines. In accordance with the warranty period set forth by the Municipality (it will be 2 years from installation before this inspection will occur)

If the Vendor determines that such damages are the responsibility of the Purchaser or its homeowners, the damages will be repaired or rectified by the Vendor at its option and the cost of same will be deducted from the Security Deposit. If the cost of repair or rectification exceeds the amount of the Security Deposit, the Purchaser shall be liable for any and all additional costs as more particularly detailed in the Standard Terms and Conditions.

The Purchaser acknowledges that the Security Deposit will not be repaid to the Purchaser until the Vendor has obtained the FAC Certificate from the Municipality. Notification of FAC approval and Certificate will be posted to the Vendor's website at www.mlcland.com. The Purchaser acknowledges that FAC approval will take at least two (2) years from the date of the installation of the Vendor's Improvements.

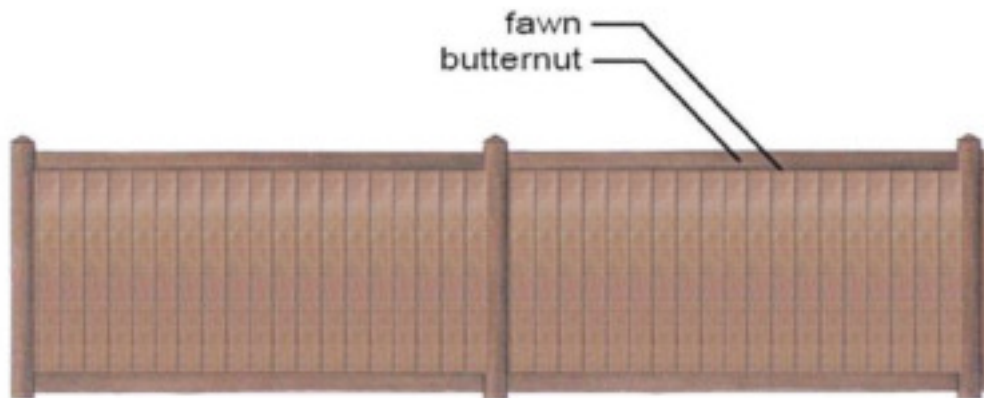
It is the responsibility of the Purchaser to ensure that the Improvements are maintained until FAC is issued by the Municipality and until such time as the Security Deposit is returnable to the Purchaser as aforesaid.

APPENDIX "A"
COMMUNITY PLAN

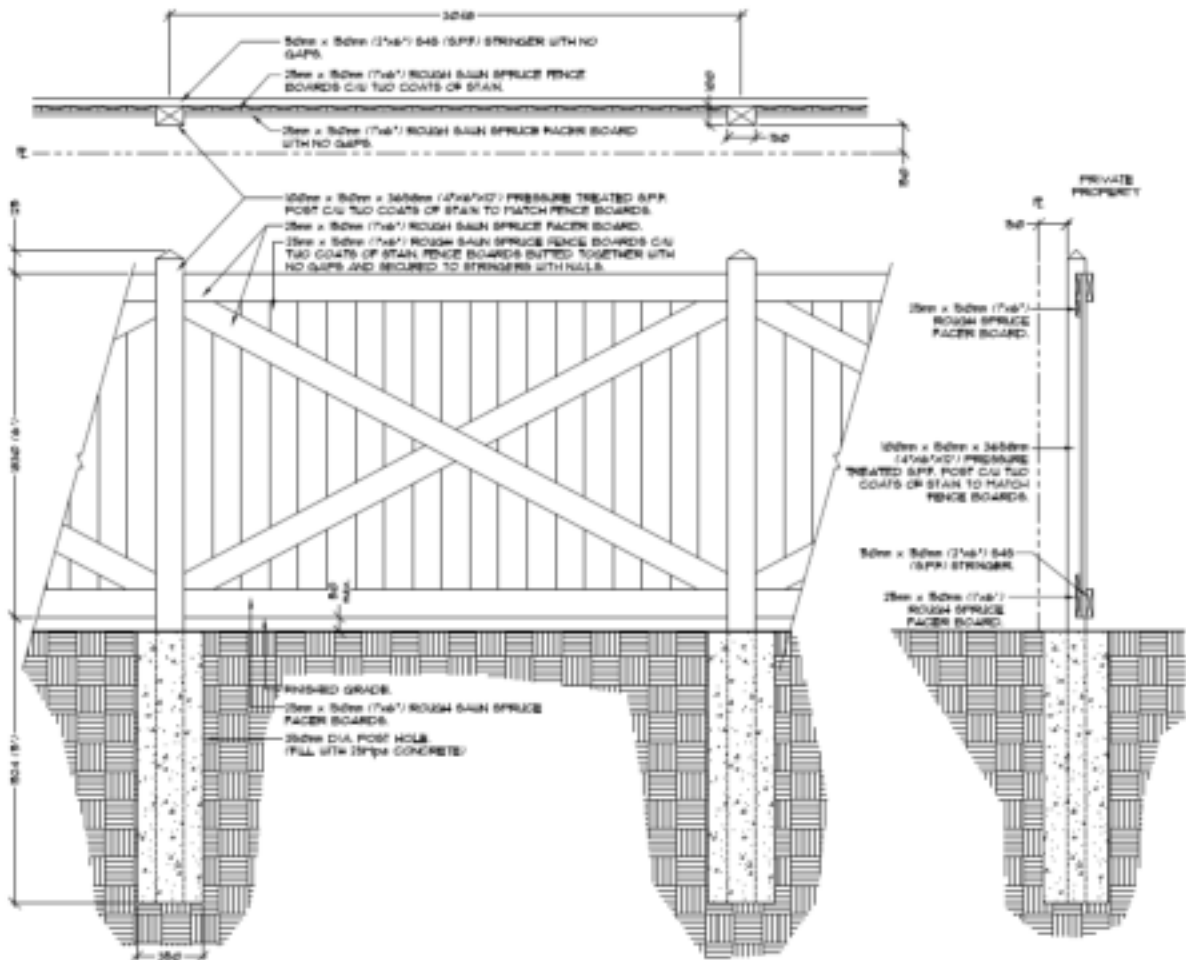


APPENDIX "B"
WOOD FENCING NOTES

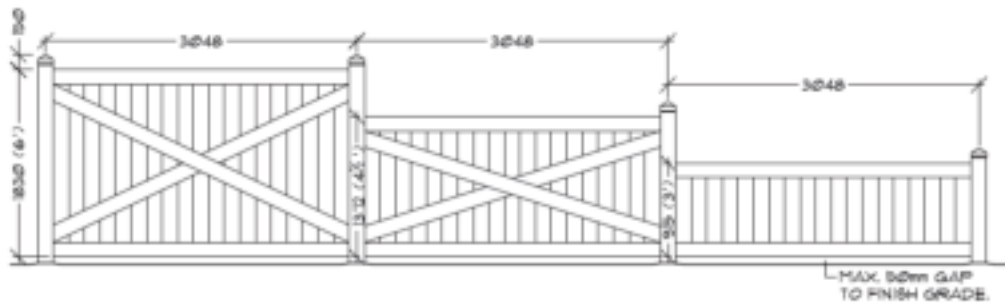
1. All timber posts and beams to be pressure treated pine or fir, rough sawn timber painted with two coats solid wood stain by Cloverdale on both sides prior to installation.
2. All lumber shall be clean, construction grade pine, fir or spruce members, finished as per the details unless otherwise specified.
3. All lumber shall be straight, sound and free of splints, warps, cracks large knots and other defects.
4. All colours and type of stain are as per the details and to be applied as per the manufacturer's specification and are to be submitted to the landscape architect for approval prior to proceeding.
5. **All wood to be pre-stained with Cloverdale stain. Butternut: posts and rails stringers Fawn: boards**
6. All dimensions are in millimeters (mm) unless otherwise noted.
7. Ensure that front of post is 1.5 meters from gasline.
8. All wood screen fences to be placed 150mm inside private property without columns and 575mm with columns.
9. All hardware to be galvanized.
10. Pressure treated posts to be treated with a solution of pentachlorophenol and petroleum to CSA-080
11. Nails to be 89mm Ardox coated for boards (3 Per Board)
12. Contractor to call Alberta First Call at 1-800-242-3441 to have existing utilities located prior to start of any construction.
13. This drawing to be read in conjunction with the written specifications, drawings and details for the project.



WOOD FENCE DETAIL



1 1800mm HT. STANDARD WOOD SCREEN FENCE
L4 SCALE: 1:20



2 1800mm HT. STANDARD WOOD FENCE STEP-DOWN DETAIL
L4 SCALE: 1:50

APPENDIX "C"
SAMPLE COLOUR SELECTIONS

Graydon Hill Color Combinations - Modern Ranch & Alpine Chalet

| | Lap Siding | Vertical Siding | Fascia & Trim | Stone - Modern Ranch | Stone - Alpine |
|---|-------------------|------------------------|--------------------------|-----------------------------|---|
| 1 | Spring Moss | Sahara Brown | Clay | Castaway Slate Grey | Rustic Ledge - Saratoga Shadow Rock - Bronze Mountain Ledge - Sierra River Rock - Saginaw |
| 2 | Aviator Green | Muskoka Green | Cactus | Slate Grey Chapel Hill | Bluffstone - Prescott Rustic Ledge - Saratoga Shadow Rock - Teton Mountain Ledge - Mesa Verde River Rock - Colorado |
| 3 | Rockaway Grey | Canyon Brown | Aztec | Black River | Bluffstone - Coos Bay Shadow Rock - Teton Mountain Ledge - Bitterroot |
| 4 | Caribou Brown | Chestnut | Chocolate | Chapel Hill Santa Fe | Bluffstone - Mineret Rustic Ledge - Cascade Shadow Rock - Bronze Mountain Ledge - Bitterroot River Rock - Colorado |
| 5 | Spring Moss | Rainforest | Clay | Castaway Slate Grey | Bluffstone - Prescott Shadow Rock - Bronze Mountain Ledge - Sierra River Rock - Rainier |

APPENDIX "C" Continued.....
SAMPLE COLOUR SELECTIONS

Graydon Hill Color Combinations - Modern Ranch

| | Lap Siding | Vertical Siding | Fascia & Trim | Stone |
|---|-------------------|------------------------|--------------------------|----------------------------|
| 1 | Venetian Gold | Arizona Tan | Ivory | Drycreek Pagosa Springs |
| 2 | Annapolis Blue | Khaki Brown | Pacific Blue | Nantucket Chapel Hill |
| 3 | Eggplant | Chestnut | Antique Brown | Chapel Hill Black River |
| 4 | Richmond Red | Chestnut | Burgundy | Santa Fe Castaway |
| 5 | Rainforest | Canyon Brown | Pebble Clay | Nantucket Slate Grey |

Notes:

- **SIDING COLOURS REFERENCED ARE FROM THE MITTEN PREMIUM DESIGNER PALATES.**

- **FASCIA TRIM COLOURS REFERENCED ARE THE BEST TONAL MATCH FOR THE CORRESPONDING SIDING. ALTERNATIVE MANUFACTURERS PRODUCTS WILL BE APPROVED IF DEEMED SUITABLE.**